

# CARMAX OF WILMINGTON

## WILMINGTON, NORTH CAROLINA

NOVEMBER 2016

PROJECT ADDRESS:  
6030 MARKET STREET  
Wilmington, NC 28403

NCDENR PWSS WATER PERMIT #: \_\_\_\_\_  
 WATER CAPACITY: \_\_\_\_\_ GPD  
 DWQ SEWER PERMIT #: \_\_\_\_\_  
 SEWER CAPACITY: \_\_\_\_\_ GPD  
 SEWER SHED # AND PLANT: \_\_\_\_\_  
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

**Approved Construction Plan**  
Name \_\_\_\_\_ Date \_\_\_\_\_  
Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_

**NOTICE REQUIRED**

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTACT "CAROLINA ONE CALL" AT  
1-800-632-4949

**CONTACT THESE UTILITIES**

CITY OF WILMINGTON, DEVELOPMENT SERVICES  
ATTN: JIM DIEPENBROOK  
PH: 910-341-3257

PIEDMONT NATURAL GAS  
ATTN: CARL PAQUET  
PH: 910-350-2242

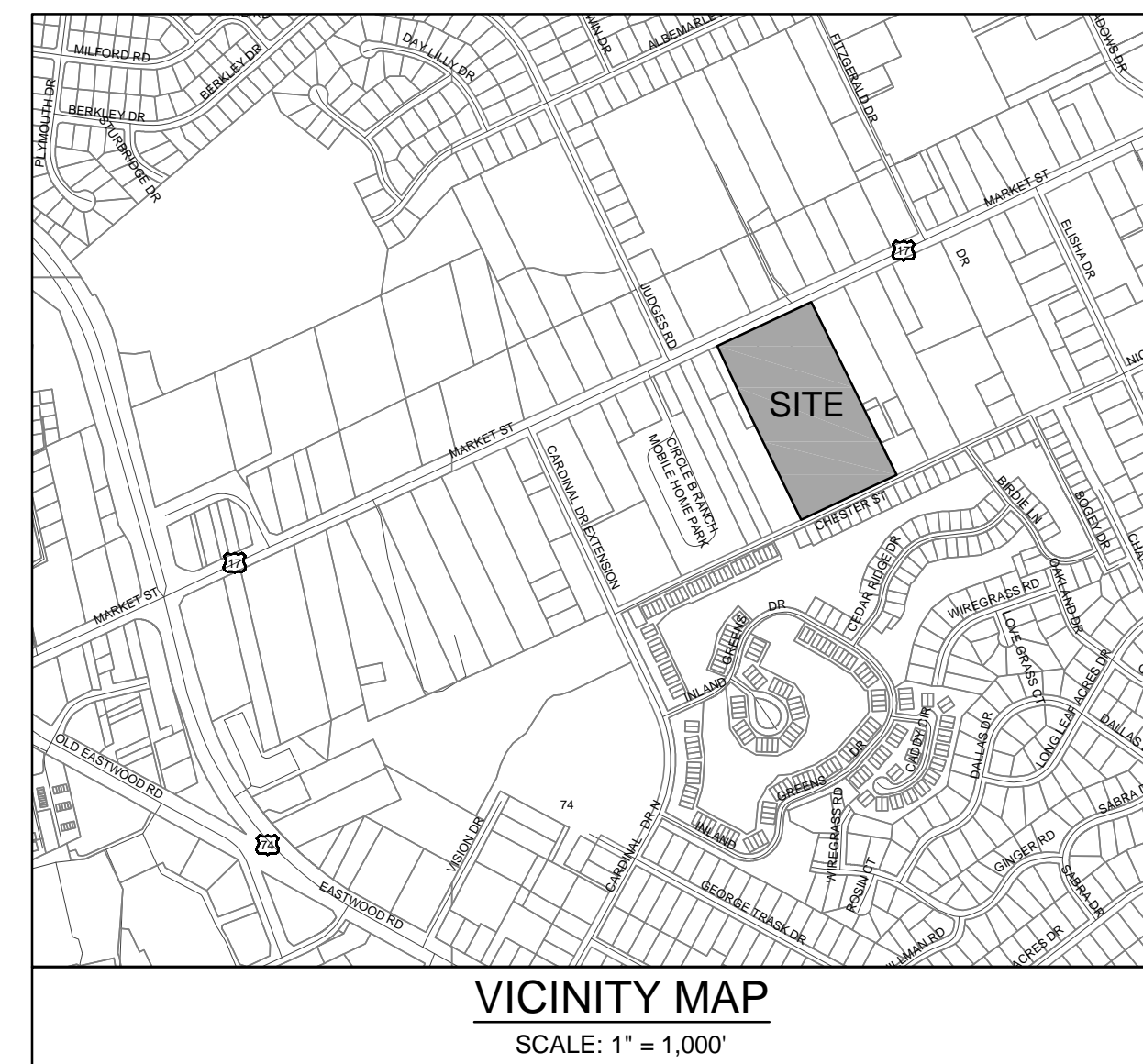
EMERGENCY DIAL 911  
POLICE - FIRE - RESCUE

CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER)  
ATTN: FRANK STYERS  
PH: 910-332-6670

DUKE ENERGY PROGRESS  
ATTN: KEVIN LEATHERWOOD  
PH: 910-602-4304

BELL SOUTH  
ATTN: STEVE DAYVAULT  
PH: 910-362-8712

TIME WARNER CABLE  
PH: 910-753-4538



**OWNER:**  
CARMAX AUTO SUPERSTORE, INC.  
12800 TUCKAHOE CREEK PARKWAY  
RICHMOND, VA 23238

**CIVIL ENGINEERS, LAND PLANNERS & LANDSCAPE ARCHITECTS:**

PARAMOUNTE ENGINEERING, INC.  
122 CINEMA DRIVE  
WILMINGTON, NORTH CAROLINA 28403  
ATTN: ROB BALLAND (910) 791-6707

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
C-2.0	DEMOLITION PLAN
C-2.1	SITE PLAN
C-2.2	SITE INVENTORY MAP
C-2.3	TREE REMOVAL PLAN
C-4.0	UTILITY PLAN
C-6.0	DETAILS

PREPARED BY:  
**PARAMOUNTE**  
ENGINEERING, INC.  
122 CINEMA DRIVE  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6700 (F)  
NC License # C-2846  
PROJECT # 15253.PE



Know what's below.  
Call before you dig.

REVISIONS:

CLIENT INFORMATION:  
CARMAX AUTO SUPERSTORE, INC.  
12800 TUCKAHOE CREEK PARKWAY  
RICHMOND, VA 23238

**PARAMOUNTE**  
ENGINEERING, INC.  
5911 Oleander Drive, Suite 201  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6700 (F)  
NC License #: C-2846

COVER SHEET  
WILMINGTON CARMAX  
CITY OF WILMINGTON  
NEW HANOVER COUNTY, NORTH CAROLINA

PROJECT STATUS:  
CONCEPTUAL LAYOUT:  
PRELIMINARY LAYOUT:  
RELEASED FOR CONST.:

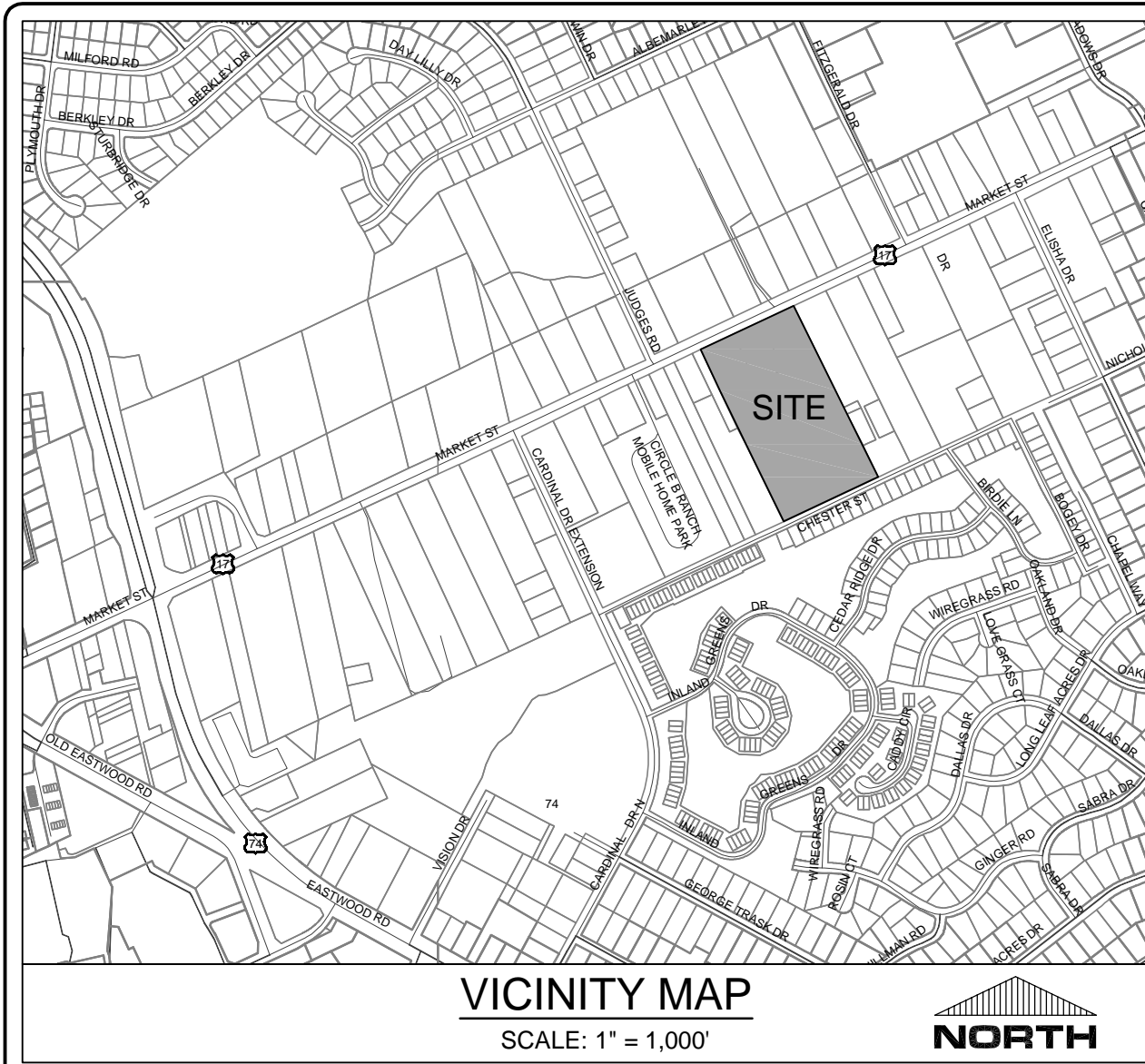
SEAL

DRAWING INFORMATION  
DATE: 11/16/16  
DESIGNED: RFB  
CHECKED: RFB

C-0.0

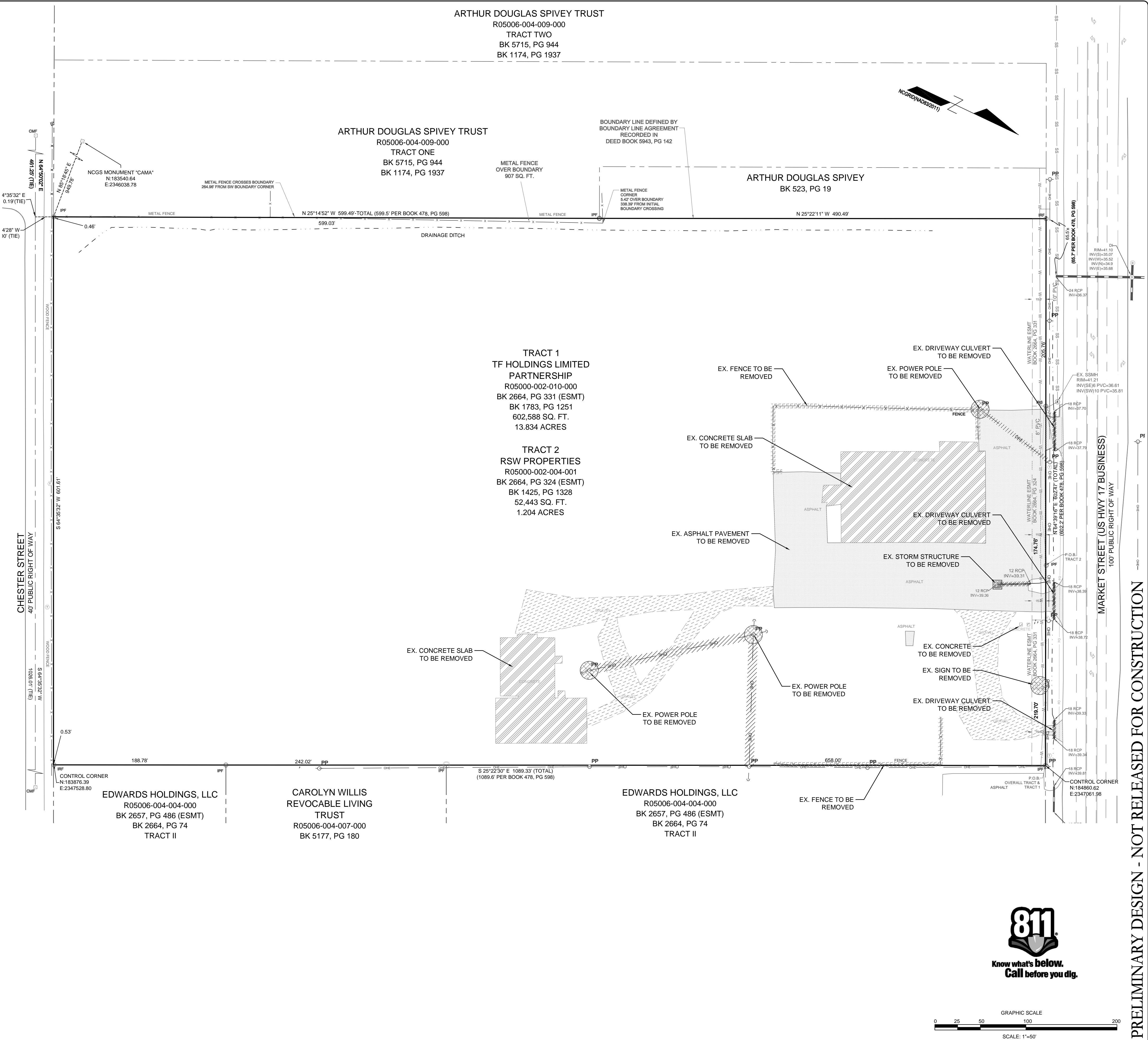
PEI JOB#: 15253.PE

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION



- DEMOLITION NOTES:**
- CONTRACTOR SHALL REFER TO SHEET C-1.0 GENERAL NOTES FOR DEMOLITION NOTES.
  - CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANS FOR SPECIFIC TREE REMOVAL.
  - CONTRACTOR SHALL MAKE NO PAVEMENT CUTS INTO MARKET STREET WITHOUT THE WRITTEN PERMISSION OF NCDOT.

SYMBOLS LEGEND	
REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND	
	EXISTING ASPHALT TO BE REMOVED
	EXISTING CONC. CURB TO BE REMOVED
	EXISTING CONCRETE TO BE REMOVED
	EXISTING GRAVEL TO BE REMOVED
	EXISTING UTILITY LINE TO BE REMOVED
	EXISTING STORM SEWER LINE TO BE REMOVED
	EXISTING STORM STRUCTURE TO BE REMOVED
	EXISTING SIGN/LIGHT UTILITY POLE TO BE REMOVED
	EXISTING FENCE TO BE REMOVED



REVISIONS:

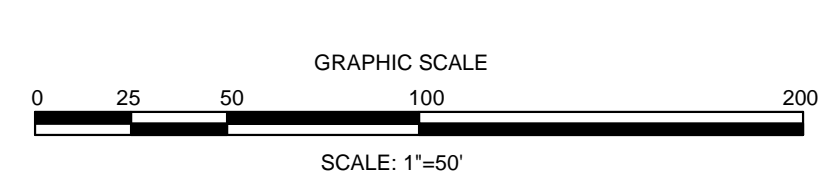
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CLIENT INFORMATION:  
**CARMAX AUTO SUPERSTORE, INC.**  
 12800 TUCKAHOE CREEK PARKWAY  
 RICHMOND, VA 23238

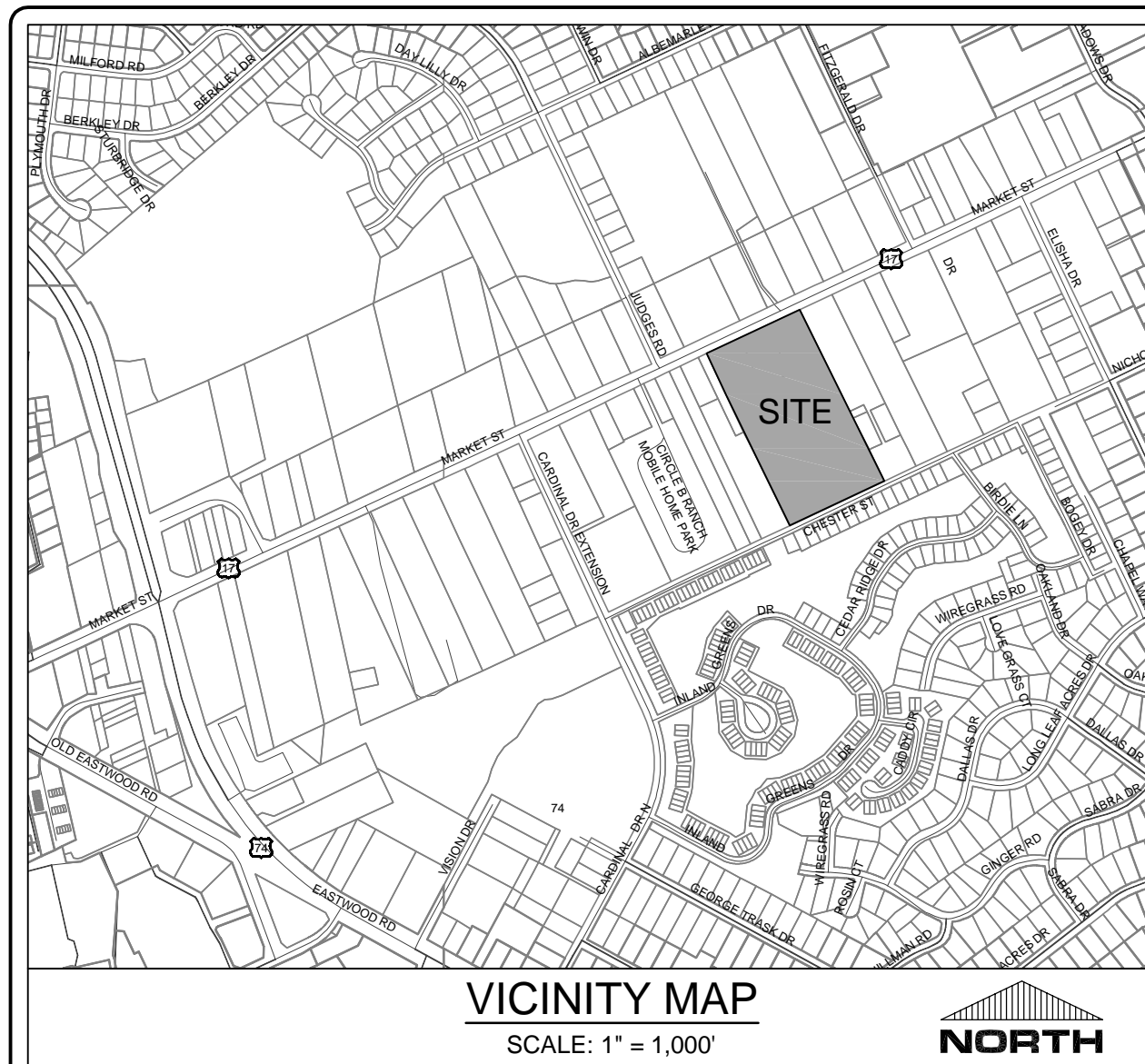
**PARAMOUNT ENGINEERING**  
 122 Cinema Drive  
 Wilmington, North Carolina 28403  
 (910) 791-6707 (O) (910) 791-6700 (F)  
 NC License #: C-2846

DEMOLITION PLAN  
**WILMINGTON CARMAX**  
 CITY OF WILMINGTON  
 NEW HANOVER COUNTY, NORTH CAROLINA

PROJECT STATUS: CONCEPTUAL LAYOUT: PRELIMINARY LAYOUT: RELEASED FOR CONST.	DATE: 11/19/16 DESIGNED: RPB DRAWN: RPB CHECKED: RPB
SEAL	
<b>C-2.0</b>	
PEI JOB#: 15253.PE	



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION



**SITE DATA TABULATION**

**OWNER:** CARMAX OF WILMINGTON  
**PROJECT ADDRESS:** 6030 MARKET STREET WILMINGTON, NC 28403  
**TAX PARCEL IDENTIFICATION #:** R05000-002-010-000 (13.83 AC) - LOT 1 R05000-002-004-001 (1.20 AC) - LOT 2 BK 2664, PG 331 (ESMT) - LOT 1 BK 1783, PG 1251 - LOT 1 BK 2664, PG 324 (ESMT) - LOT 2 BK 1425, PG 1328 - LOT 2 15,038 ACRES (655,055 SF)  
**RECORDED DEED BOOK:**  
**TOTAL SITE AREA:** 15,038 ACRES (655,055 SF)  
**CURRENT ZONING:** RB - REGIONAL BUSINESS URBAN  
**CAMA LAND USE CLASSIFICATION:** UNDEVELOPED  
**MAXIMUM ALLOWABLE BUILDING HEIGHT:** 35'  
**EXISTING LAND USE:** AUTOMOBILE DEALER - USED  
**PROPOSED LAND USE:** AUTOMOBILE DEALER - USED

**SETBACK STANDARDS**

	PROVIDED	REQUIRED
MINIMUM FRONT SETBACK	141.3 FT. (NORTH)	25 FT.
MINIMUM SIDE SETBACK	254.6 FT. (EAST)	50 FT.
MINIMUM SIDE SETBACK	97 FT. (WEST)	0 FT.
MINIMUM REAR SETBACK	661 FT. (SOUTH)	15 FT.

**SITE INFORMATION**

	673,021 SF (15.45 AC)	15,000 SF (0.34 AC)
MINIMUM LOT AREA	673,021 SF (15.45 AC)	15,000 SF (0.34 AC)
MINIMUM LOT WIDTH	602.47'	100'
MINIMUM LOT COVERAGE	6.18%	40%

**PROPOSED IMPERVIOUS AREA**

TOTAL BUILDING (PROPOSED FOOTPRINT)	38,824 SF
ON-SITE PARKING & DRIVEWAYS	349,903 SF
ON-SITE SIDEWALKS	10,925 SF
FUTURE IMPERVIOUS	3,331 SF
<b>TOTAL PROPOSED IMP. AREA</b>	<b>402,930 SF (9.25 AC)</b>

**PROPOSED PERCENT IMPERVIOUS** 402,930 / 655,055 SF = 61.5%

**BUILDING INFORMATION**

CONSTRUCTION TYPE:	IIB
NUMBER OF PROPOSED BUILDINGS	1
PROPOSED BUILDING SF	38,824 SF

**OVERALL HEIGHT** 28'-0"  
**LOT COVERAGE** 5.93% (PROPOSED)

**SITE PARKING**  
**MINIMUM PARKING REQUIRED:** 78 (1 PER 500 SF GFA)

**MAXIMUM PARKING ALLOWABLE:** 117 SPACES  
**TOTAL PARKING PROVIDED:** 262 SPACES  
**HANDICAP PARKING REQUIRED:** 9 SPACES  
**HANDICAP PARKING PROVIDED:** 9 SPACES

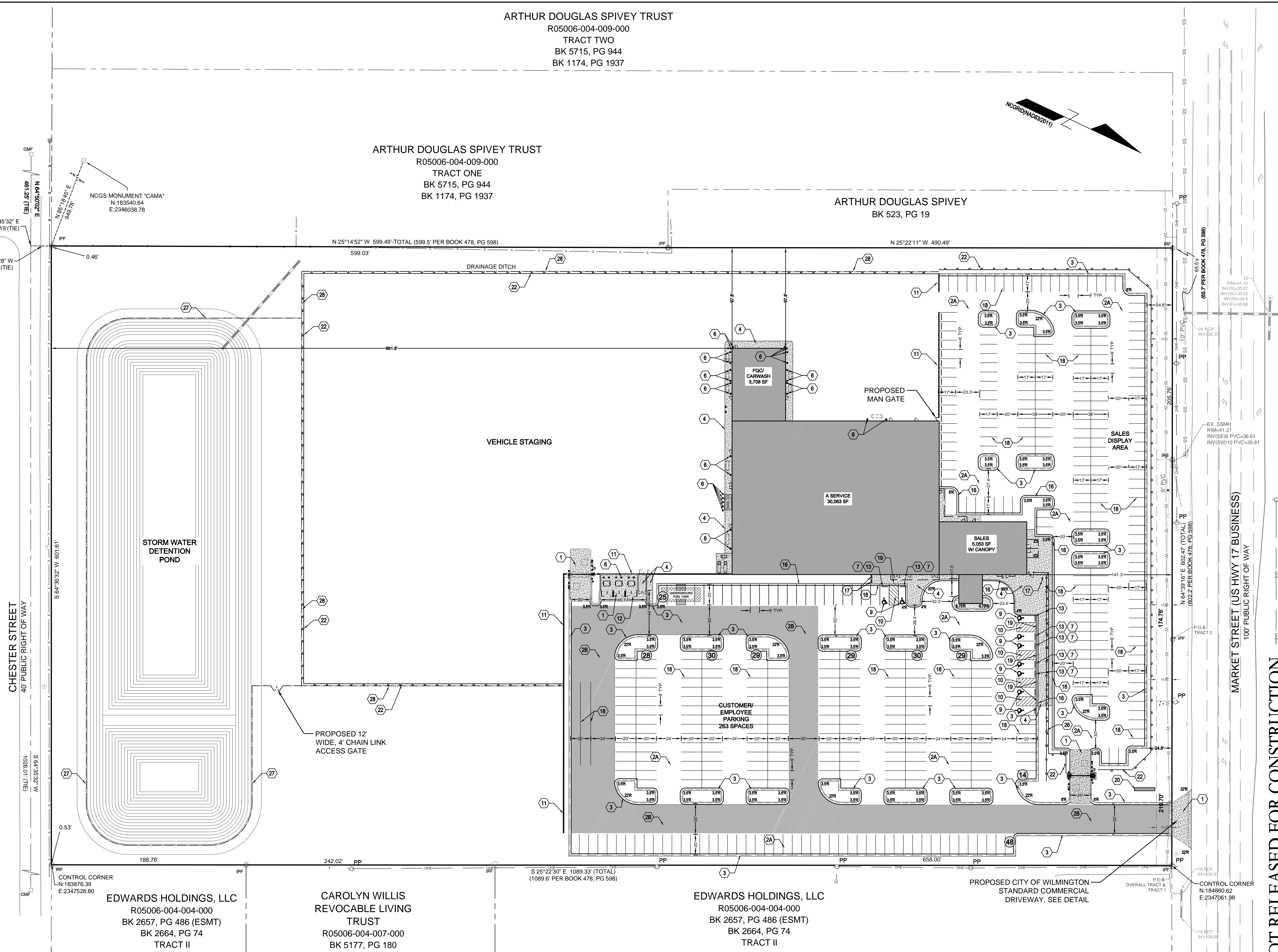
**BICYCLE PARKING REQUIRED:** 15 SPACES  
**BICYCLE PARKING PROVIDED:** 15 SPACES

**UTILITY INFORMATION**  
**SANITARY SEWER**  
 THIS PROJECT IS PROVIDING A NEW SEWER SERVICE TO AN EXISTING 10-INCH GRAVITY MAIN LOCATED WITHIN THE SHORT SIDE OF MARKET STREET RIGHT OF WAY. THIS PROJECT IS PROPOSING 6-INCH AND 4-INCH SERVICES AND SANITARY SEWER ALLOCATION IS PROVIDED BY CFPWA.

**WATER**  
 A 8-INCH WATER MAIN IS LOCATED WITHIN THE SHORT SIDE OF MARKET STREET RIGHT OF WAY. THE PROPOSED BUILDING WILL HAVE A 6-INCH FIRE SERVICE AND A 2-INCH DOMESTIC SERVICE WILL BE CONNECTED TO THE EXISTING 8-INCH WATER MAIN. DOMESTIC WATER ALLOCATION PROVIDED BY CFPWA.

**NATURAL GAS**  
 THERE IS AN EXISTING 6" PLASTIC GAS MAIN LOCATED ALONG THE NORTH SIDE OF MARKET STREET EXTENDING FROM THE WEST AND ENDS JUST WEST OF THE SITE AT JUDGES ROAD. GAS WOULD HAVE TO BE EXTENDED TO THE SITE IF DESIRED. GAS IS PROVIDED BY PIEDMONT NATURAL GAS.

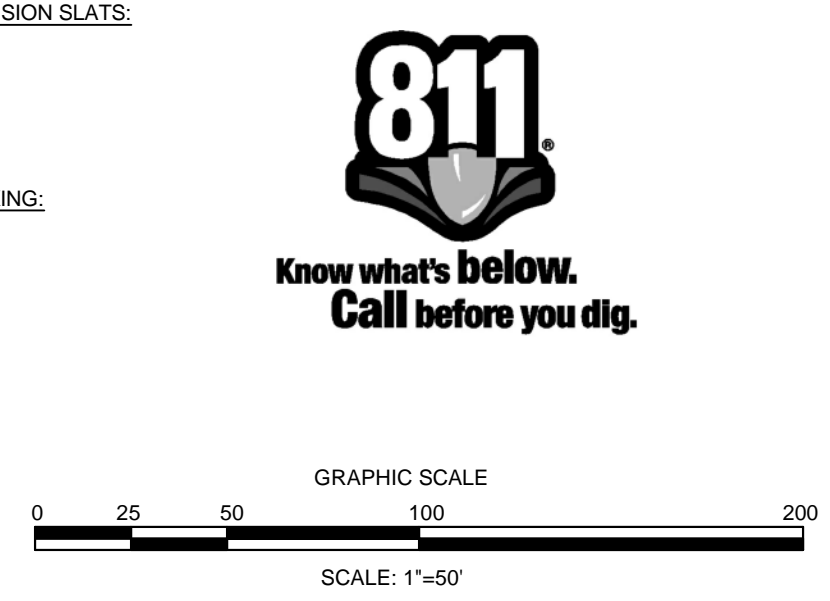
**FLOOD NOTE**  
 THE SUBJECT PARCEL IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE AS INDICATED BY FEMA FLOOD ZONE PANEL 3720314800J BEARING AN EFFECTIVE DATE OF APRIL 3, 2006.



**VARIANCE REQUESTS:**  
**1.) DRIVE ISLE WIDTH**  
 WE WOULD LIKE TO REQUEST A VARIANCE FOR THE SALES DISPLAY AREA BE APPROVED WITH 20' DRIVE AREA AND NOT THE REQUIRED 24'. THE GENERAL PUBLIC IS NOT ALLOWED TO DRIVE IN THE SALES ISLE, ONLY CARMAX EMPLOYEES, AND IT MEETS THE MINIMUM WIDTH FOR FIRE SERVICES. ALL OTHER DRIVE ISLES OUTSIDE THE SALES AREA WILL MEET THE 24' MINIMUM.

**2.) EXCEEDING MAXIMUM PARKING**  
 WE WOULD LIKE TO REQUEST A VARIANCE FOR EXCEEDING THE MAXIMUM PARKING SPACES. THE PLAN PROPOSES 262 PARKING SPACES FOR CUSTOMER/EMPLOYEE PARKING, THE MAXIMUM PER CODE IS 117 SPACES. THE PLAN ALSO HAS 217 DISPLAY SPACES IN THE SALES AREA, WHICH ARE SECURED AND GATED WITH NO ACCESS ALLOWED BY THE GENERAL PUBLIC. THE ADDITIONAL PARKING SPACES FOR CUSTOMER/EMPLOYEE PARKING AREA IS FOR THE MONTHLY WHOLESALE AUCTION THAT IS HELD FOR SELLING VEHICLES THAT HAVE BEEN TRADED AND NOT UP TO CARMAX'S STANDARDS.

- KEY NOTES:**
- 1 CONCRETE PAVING; REFER TO DETAIL C-6.0
  - 2A LIGHT DUTY ASPHALT PAVING; REFER TO DETAIL C-6.0
  - 2B HEAVY DUTY ASPHALT PAVING; REFER TO DETAIL C-6.0
  - 3 MOUNTAINABLE CONCRETE CURB & GUTTER; REFER TO DETAIL C-6.0
  - 4 CONCRETE SIDEWALK; REFER TO DETAIL C-6.0
  - 5 CONCRETE DOOR LANDING; NOT APPLICABLE
  - 6 STEEL BOLLARD; REFER TO DETAIL C-6.0
  - 7 HANDICAP PARKING SIGN; REFER TO DETAIL C-6.0
  - 8 CONCRETE SIDEWALK; PER CITY/STATE DESIGN STANDARDS. IF NO STANDARDS, REFER TO DETAIL C-6.0
  - 9 HANDICAP PARKING SYMBOL; REFER TO DETAIL C-6.0
  - 10 HANDICAP ACCESS UNLOADING ZONE; SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPE AS SHOWN.
  - 11 SCREEN WALL; REFER TO DETAIL C-6.2
  - 12 SCREEN WALL GATES; REFER TO DETAIL C-6.2
  - 13 CONCRETE BUMPER BLOCK; 8" x 5" x 6" LONG CONCRETE. ANCHOR TO PAVING WITH (2) 1" x 4" LONG #4 REBAR. REFER TO DETAIL C-6.0
  - 14 PARKING LOT LIGHTING; REFER TO SITE LIGHTING PLAN FOR LOCATION AND TYPE.
  - 15 LIMITS OF NEW PAVING; IN NEW PARKING AND DRIVE AREA NOT DESIGNATED AS HEAVY DUTY STANDARD 18" CURB & GUTTER; REFER TO DETAIL C-6.0
  - 16 BICYCLE RACK (5 BIKE MIN. PER RACK); CONTRACTOR SHALL SUBMIT SHOP DWG. FOR REVIEW
  - 18 STRIPING; PROVIDE 4' WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - WHITE (2 COATS).
  - 19 DETECTIBLE WARNING MAT; REFER TO DETAIL C-6.0
  - 20 SIGN LOCATION; SIGN FURNISHED AND INSTALLED BY OWNER. REFER TO ARCHITECTURAL PLANS FOR LOCATION
  - 21 CONCRETE DRIVE APRON; NOT APPLICABLE
  - 22 METAL GUARD RAIL; REFER TO DETAIL C-6.0
  - 23 CONCRETE FLUME; NOT APPLICABLE
  - 24 RETAINING WALL; NOT APPLICABLE
  - 25 DESIGNATED ACCESSIBLE ROUTE; PROVIDE STRIPING AND SLOPE 5% MAXIMUM IN DIRECTION OF TRAVEL WITH 2% MAXIMUM CROSS SLOPE.
  - 26 ORNAMENTAL FENCING; REFER TO DETAIL C-6.0
  - 27 4" CHAINLINK FENCE (BLACK); SEE DETAIL C-6.0
  - 28 6" CHAINLINK FENCE (BLACK) W/ VISION SLATS; SEE DETAIL C-6.0
  - 29 CONCRETE SIDEWALK DETAIL; 6.5" EXPOSED FACE TO ASPHALT SEE DETAIL C-6.0
  - 30 EMERGENCY VEHICLE LANE MARKING; NOT APPLICABLE
  - 31 CONCRETE CURB (NCDOT); NOT APPLICABLE



**REVISIONS:**

**CLIENT INFORMATION:**  
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 12800 TUCKAHOE CREEK PARKWAY  
 RICHMOND, VA 23238

**PARAMOUNT ENGINEERING**  
 122 Cinema Drive  
 Wilmington, North Carolina 28403  
 (910) 791-6707 (O) (910) 791-6760 (F)  
 NC License #: C-2846

**SITE PLAN**  
**WILMINGTON CARMAX**  
**CITY OF WILMINGTON**  
**NEW HANOVER COUNTY, NORTH CAROLINA**

**PROJECT STATUS:**  
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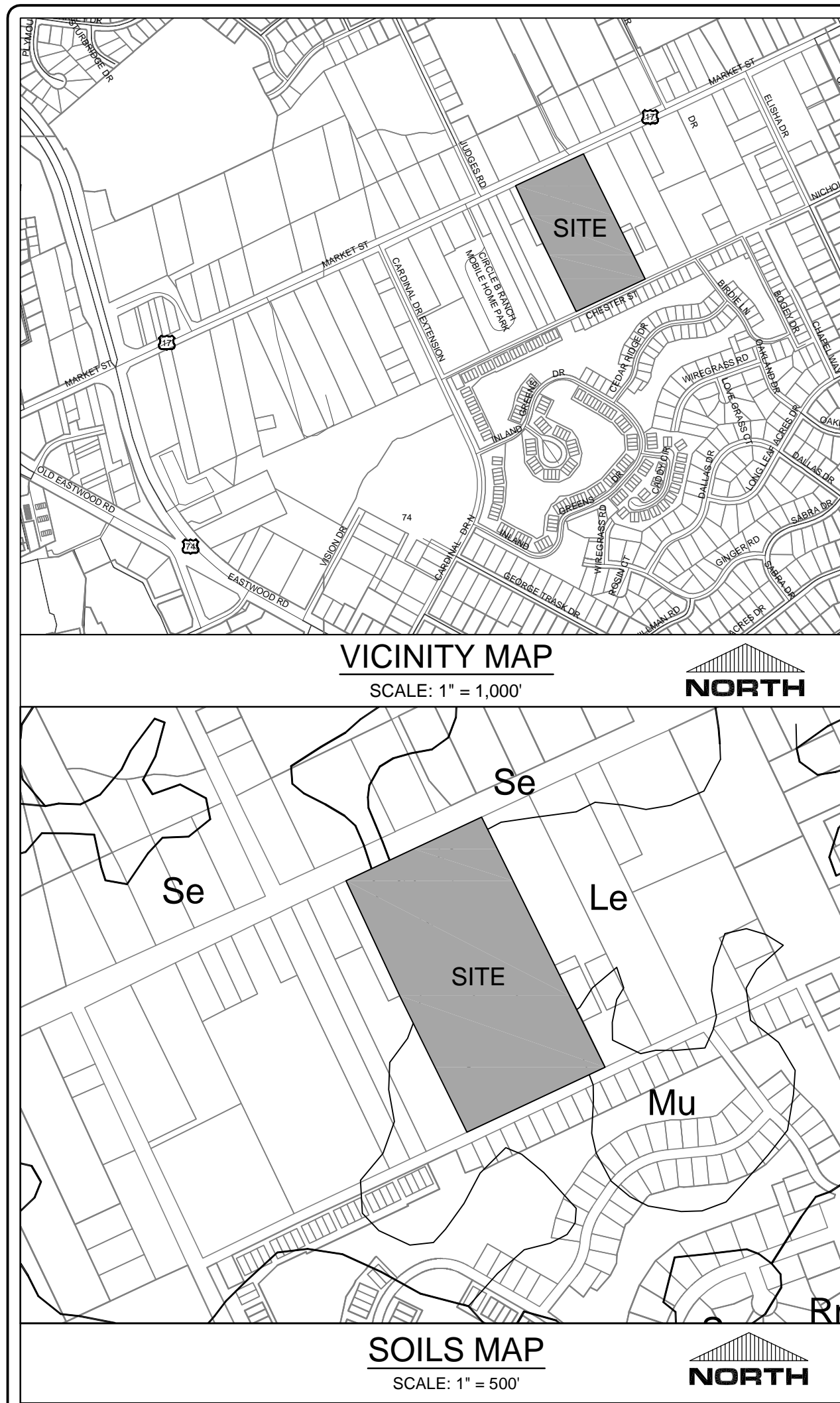
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**SEAL**

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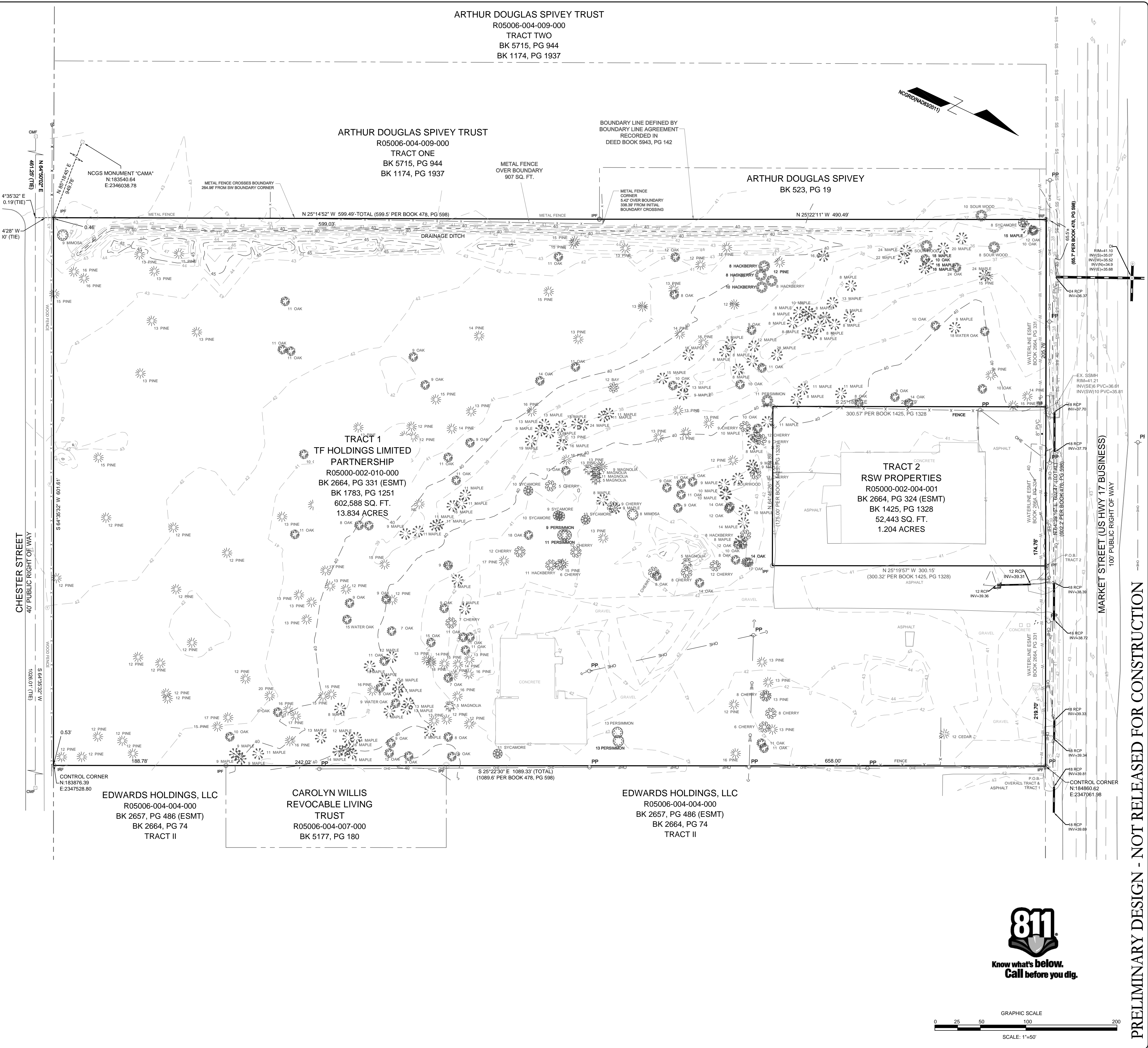
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PEI JOB#: 15253.PE



**SITE INVENTORY DATA**

- PREPARER OF THE PLAN: PARAMOUNTE ENGINEERING  
122 CINEMA DRIVE  
WILMINGTON, NC 28403
- APPLICANT NAME: CARMAX AUTO SUPERSTORES, INC.  
12800 TUCKAHOE CREEK PARKWAY  
RICHMOND, VA 23238
- SITE ADDRESS: 6030 MARKET STREET  
WILMINGTON, NC 28403
- PROPERTY OWNER: TF HOLDINGS LIMITED PARTNERSHIP (TRACT 1)  
RSW PROPERTIES (TRACT 2)
- DEVELOPER: SAME AS APPLICANT
- PROPERTY BOUNDARY: SEE PLAN
- ZONING: RB - REGIONAL BUSINESS
- ADJACENT PROPERTY INFORMATION (OWNER AND ZONING): SEE PLAN
- VICINITY MAP: SEE MAP ABOVE
- TOPOGRAPHY: SEE PLAN
- 100 YEAR FLOOD PLAIN BOUNDARY: SITE IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN
- LOCATION OF EXISTING DITCHES, CREEKS, AND STREAMS: SEE PLAN
- SOILS: MURVILLE (Mu)  
LEON (Le)  
SEAGATE (Se)  
(SEE SOILS MAP ABOVE)
- CAMA AEC & ASSOCIATED SETBACKS: N/A
- CAMA LAND CLASSIFICATION: URBAN
- CONSERVATION RESOURCES: N/A
- LOCAL, STATE, OR FEDERAL HISTORIC OR ARCHAEOLOGICAL SITE: N/A
- LOCATION OF CEMETERIES, BURIAL SITES, OR BURIAL GROUNDS: N/A
- SQUARE FOOTAGE OF FORESTED AREA, HABITAT, AND DOMINANT SPECIES: N/A
- SECTION 404 WETLANDS AND SECTION 10 WATERS: N/A
- PROTECTED SPECIES OR HABITAT: N/A
- THOROUGHFARES, BIKE ROUTES, SIDEWALKS, TRANSIT FACILITIES (EXISTING OR PROPOSED): SEE PLAN & VICINITY MAP



**REVISIONS:**

**CLIENT INFORMATION:**  
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(910) 791-6707 (O) (910) 791-6760 (F)  
NC License #: C-2846

**SITE INVENTORY MAP**  
WILMINGTON CARMAX  
CITY OF WILMINGTON  
NEW HANOVER COUNTY, NORTH CAROLINA

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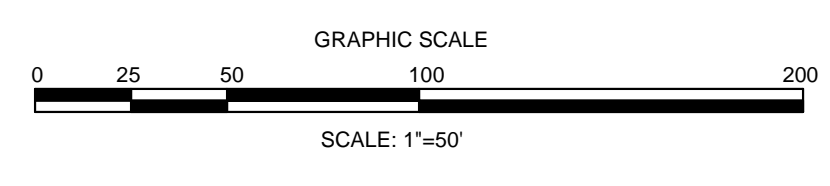
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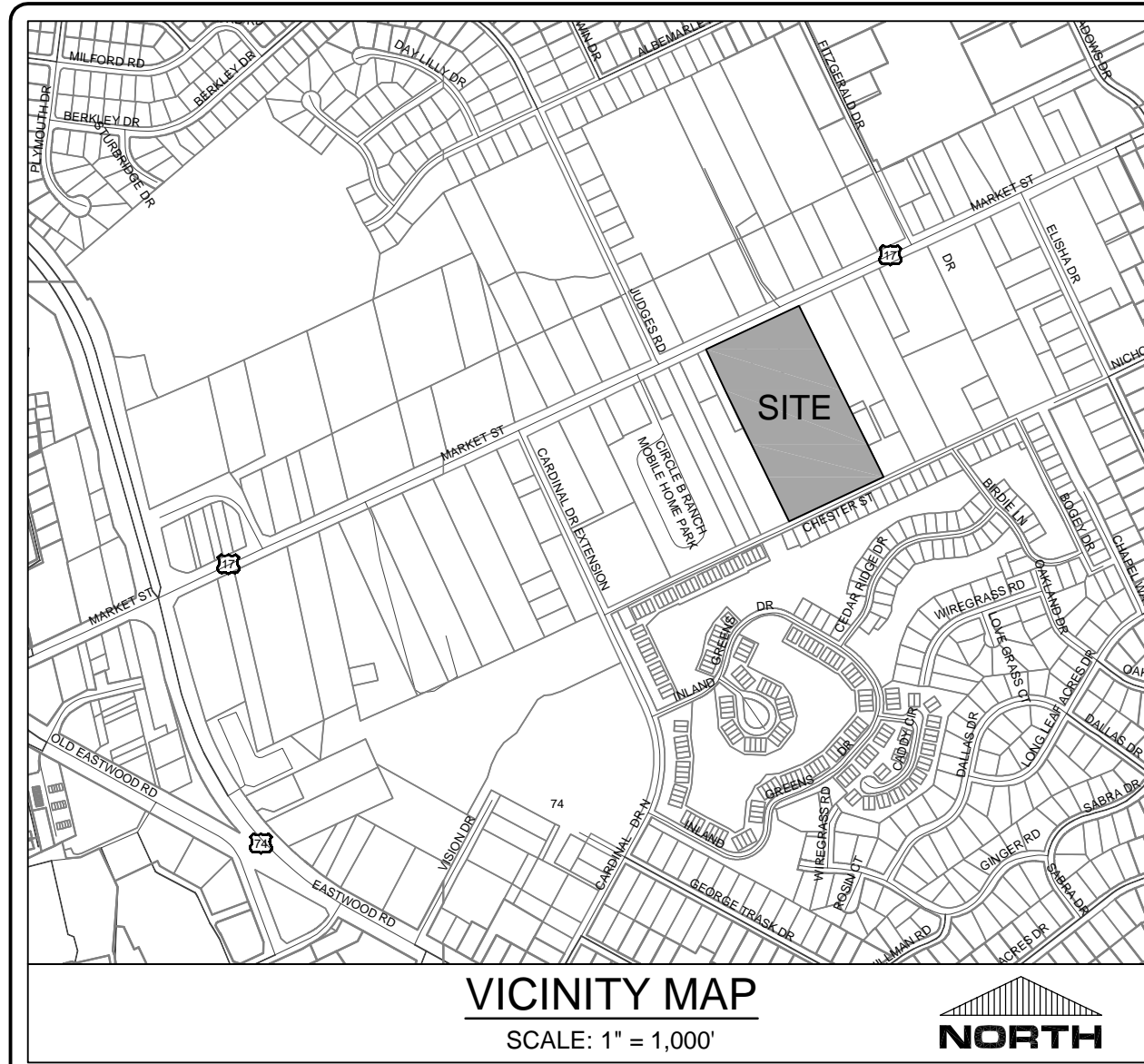
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PEI JOB#: 15253.PE

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**SITE DATA TABULATION**

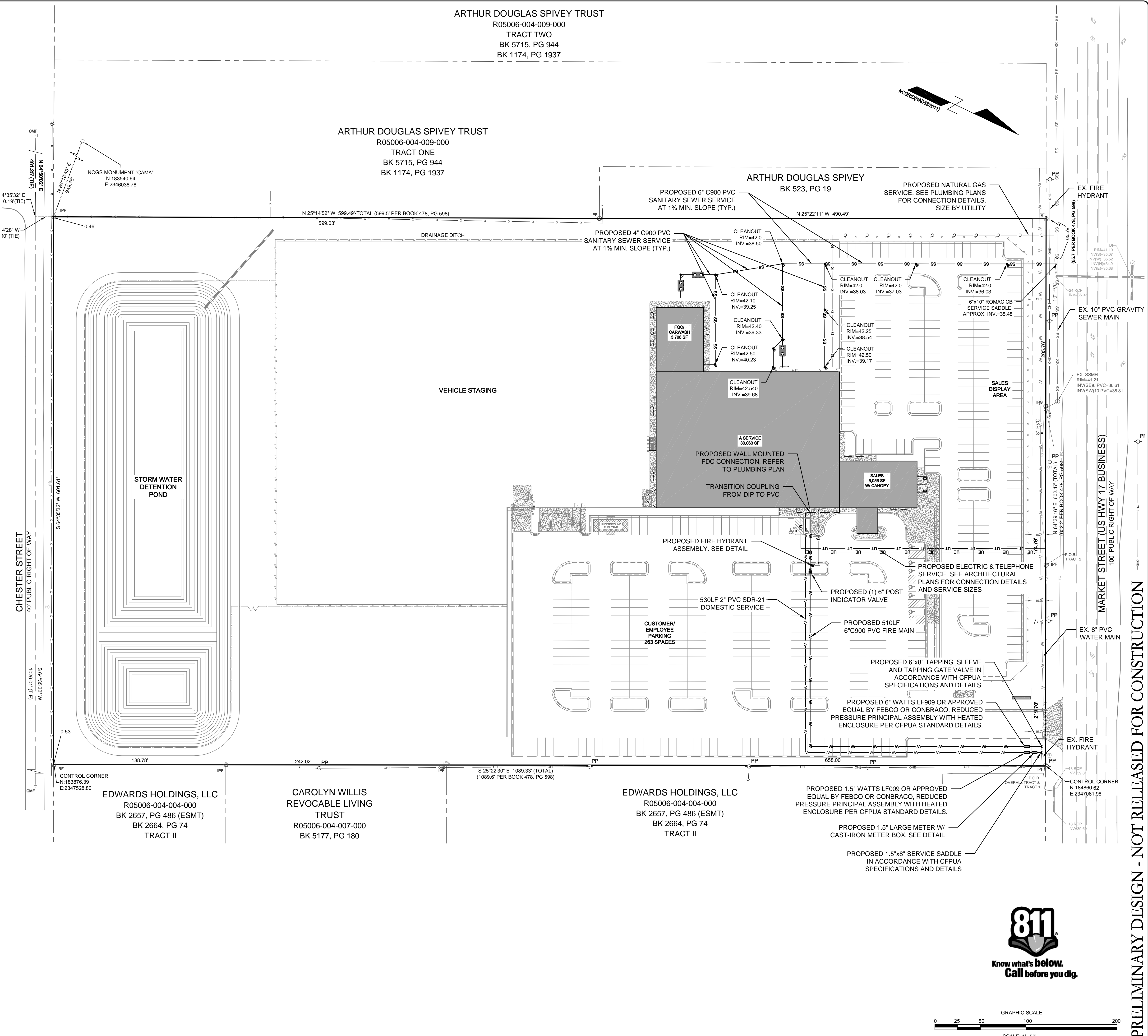
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**RECORDED DEED BOOK:**  
**TOTAL SITE AREA:**  
**PROPOSED LAND USE:** AUTOMOBILE DEALER - USED

**UTILITY INFORMATION**  
**SANITARY SEWER**  
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**FLOOD NOTE**  
 THE SUBJECT PARCEL IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE AS INDICATED BY FEMA FLOOD ZONE PANEL 3720314800J BEARING AN EFFECTIVE DATE OF APRIL 3, 2006.

**UTILITY NOTES:** (NCAC 15A.02T.0305 / T15A.18C.0906)  
 1. WATER MAINS SHALL BE LAID SO AS TO PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM SEWERS. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, THE WATER MAIN CAN BE INSTALLED AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, EITHER IN A SEPARATE TRENCH, OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.  
 2. WHEN CROSSING A WATER MAIN OVER A SEWER, THE WATER MAIN SHALL BE LAID AT LEAST 18 INCHES ABOVE THE SEWER. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH JOINTS THAT MEET WATER MAIN STANDARDS. THE DUCTILE IRON PIPE SHALL EXTEND 10 FEET ON EACH SIDE OF THE CROSSING WITH A SECTION OF WATER MAIN PIPE CENTERED ON THE CROSSING.  
 3. CROSSING A WATER MAIN UNDER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.  
 4. WHERE VERTICAL CLEARANCE IS LESS THAN 24" BETWEEN SANITARY SEWER AND STORM DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.  
 5. WHERE VERTICAL CLEARANCE IS LESS THAN 18" BETWEEN WATER MAIN AND STORM DRAIN, WATER MAIN SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.

**FIRE & LIFE SAFETY NOTES:**  
 1. NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDINGS WITHIN ANY DEVELOPMENT.  
 2. HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.  
 3. CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION  
 4. A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.  
 5. UNDERGROUND FIRE LINE & PRIVATE WATER MAINS MUST BE PERMITTED & INSPECTED BY NEW HANOVER COUNTY FIRE SERVICES FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING.  
 6. CONSTRUCTION TYPE - IIB CAR DEALERSHIP, BUILDING WILL BE SPRINKLED.  
 7. ANY FDC MUST BE WITHIN 150' OF A FIRE HYDRANT & WITHIN 40' OF FIRE APPARATUS PLACEMENT.  
 8. LANDSCAPING OR PARKING CAN NOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT (3) CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF HYDRANTS AND FDC.



**UTILITY PLAN**

**EDWARDS HOLDINGS, LLC**  
 R05006-004-004-000  
 BK 2657, PG 486 (ESMT)  
 BK 2664, PG 74  
 TRACT II

**CAROLYN WILLIS REVOCABLE LIVING TRUST**  
 R05006-004-007-000  
 BK 5177, PG 180

**EDWARDS HOLDINGS, LLC**  
 R05006-004-004-000  
 BK 2657, PG 486 (ESMT)  
 BK 2664, PG 74  
 TRACT II

**EDWARDS HOLDINGS, LLC**  
 R05006-004-004-000  
 BK 2657, PG 486 (ESMT)  
 BK 2664, PG 74  
 TRACT II

**ARTHUR DOUGLAS SPIVEY TRUST**  
 R05006-004-009-000  
 TRACT ONE  
 BK 5715, PG 944  
 BK 1174, PG 1937

**ARTHUR DOUGLAS SPIVEY TRUST**  
 R05006-004-009-000  
 TRACT TWO  
 BK 5715, PG 944  
 BK 1174, PG 1937

**ARTHUR DOUGLAS SPIVEY**  
 BK 523, PG 19

**WILMINGTON CARMAX CITY OF WILMINGTON NEW HANOVER COUNTY, NORTH CAROLINA**

**PROJECT STATUS:**  
 CONCEPTUAL LAYOUT: RELEASED FOR CONSTRUCTION  
 PRELIMINARY LAYOUT: RELEASED FOR CONSTRUCTION  
**DRAWING INFORMATION:**  
 DATE: 11/19/16  
 DESIGNED BY: RPB  
 CHECKED BY: RPB

**811**  
 Know what's below.  
 Call before you dig.

GRAPHIC SCALE  
 0 25 50 100 200  
 SCALE: 1"=50'

**C-4.0**  
 PEI JOB#: 15253.PE

**REVISIONS:**

**CLIENT INFORMATION:**  
**CARMAX AUTO SUPERSTORE, INC.**  
 12800 TUCKAHOE CREEK PARKWAY  
 RICHMOND, VA 23238

**PARAMOUNT ENGINEERING**  
 122 Cinema Drive  
 Wilmington, North Carolina 28403  
 (910) 791-6707 (O) (910) 791-6700 (F)  
 NC License #: C-2846

**UTILITY PLAN**

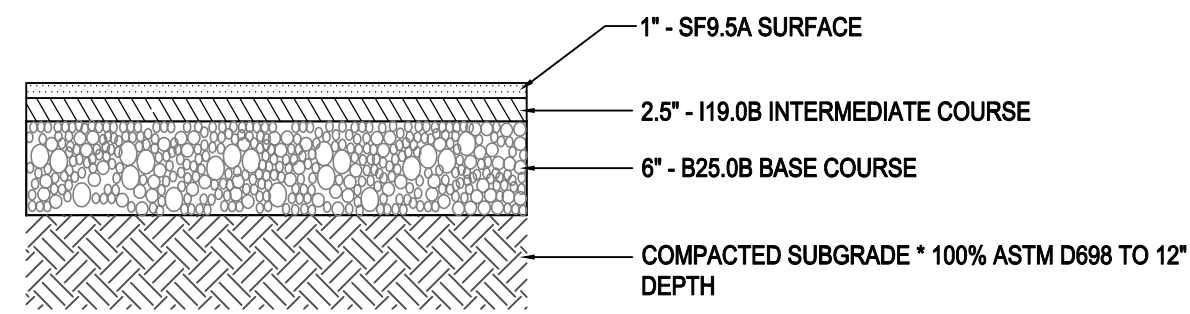
**WILMINGTON CARMAX CITY OF WILMINGTON NEW HANOVER COUNTY, NORTH CAROLINA**

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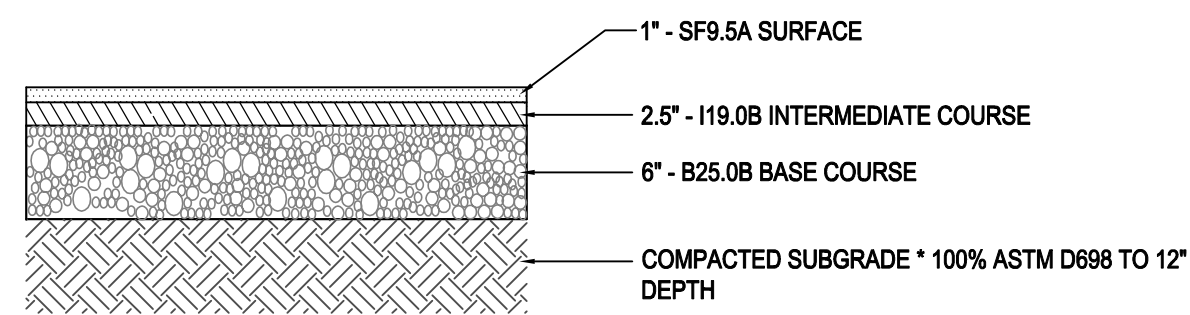
**811**  
 Know what's below.  
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**C-4.0**  
 PEI JOB#: 15253.PE

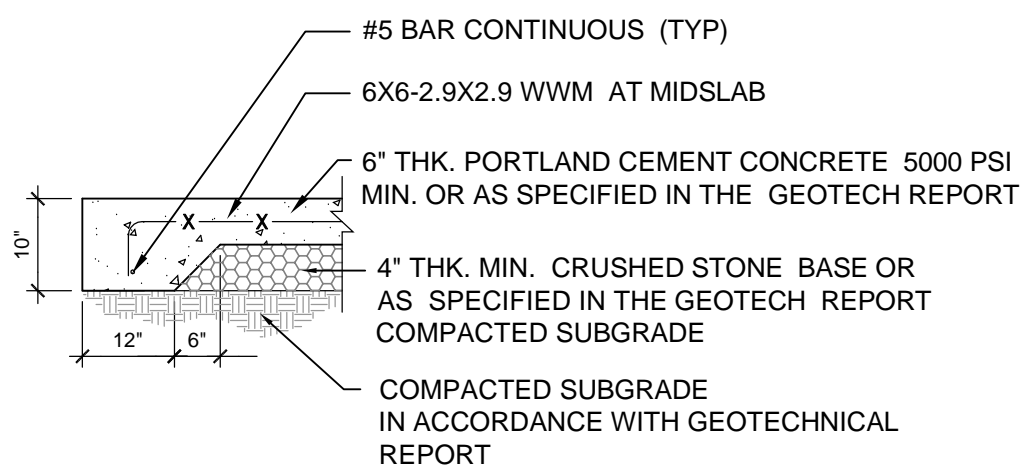
**PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION**



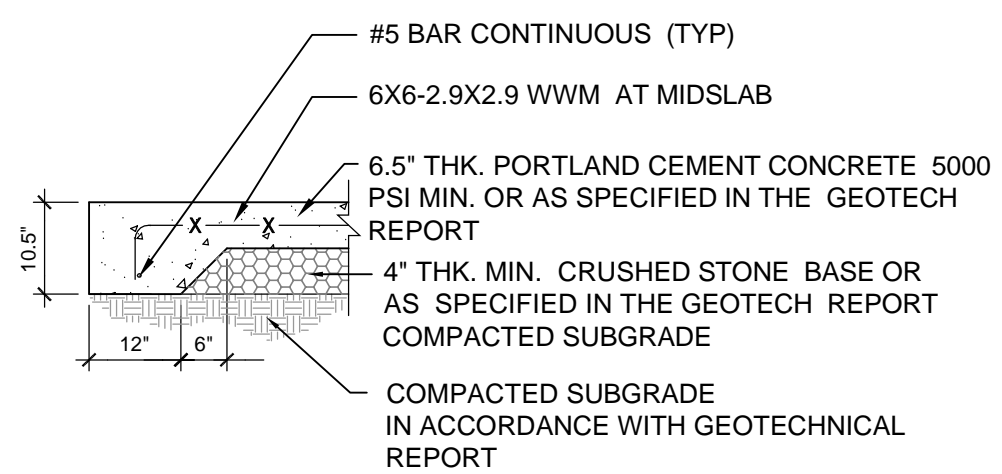
**LIGHT DUTY PAVEMENT SECTION**  
N.T.S.



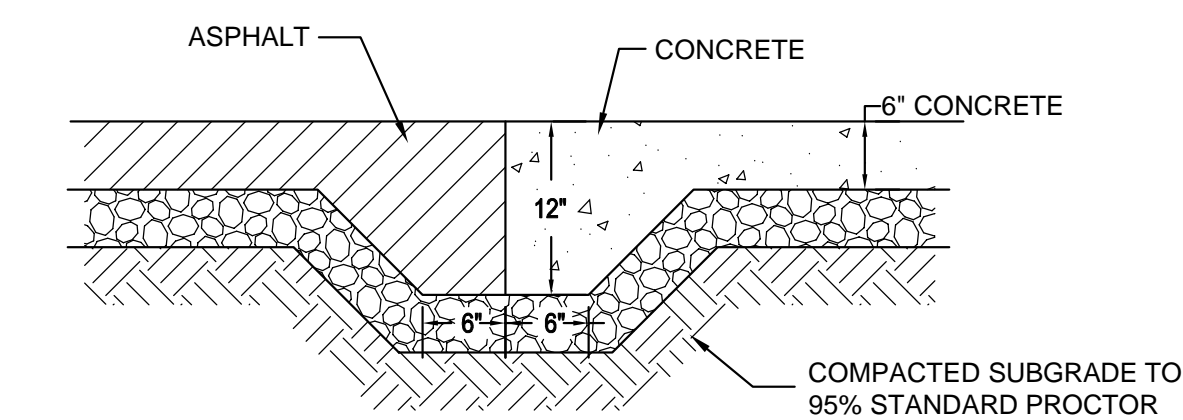
**HEAVY DUTY PAVEMENT SECTION**  
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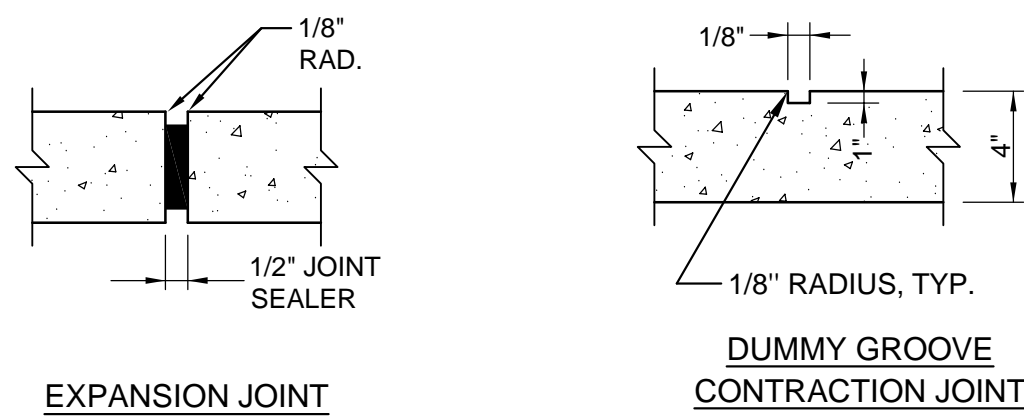
**LIGHT-DUTY CONCRETE PAVEMENT SECTION**  
NOT TO SCALE



**HEAVY-DUTY CONCRETE PAVEMENT SECTION**  
NOT TO SCALE

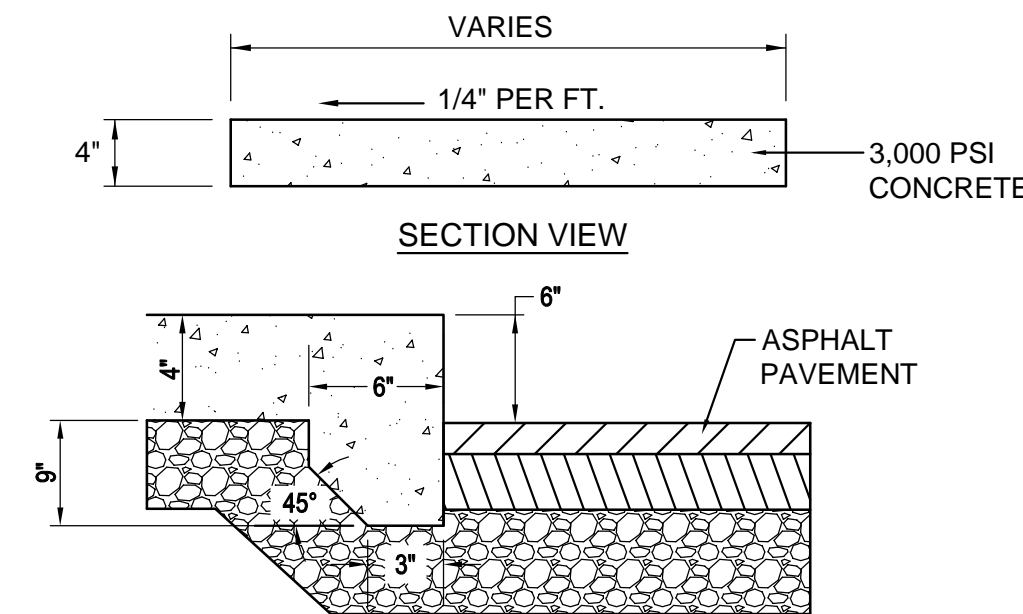


**ASPHALT TO CONCRETE PAVEMENT TRANSITION**  
NOT TO SCALE



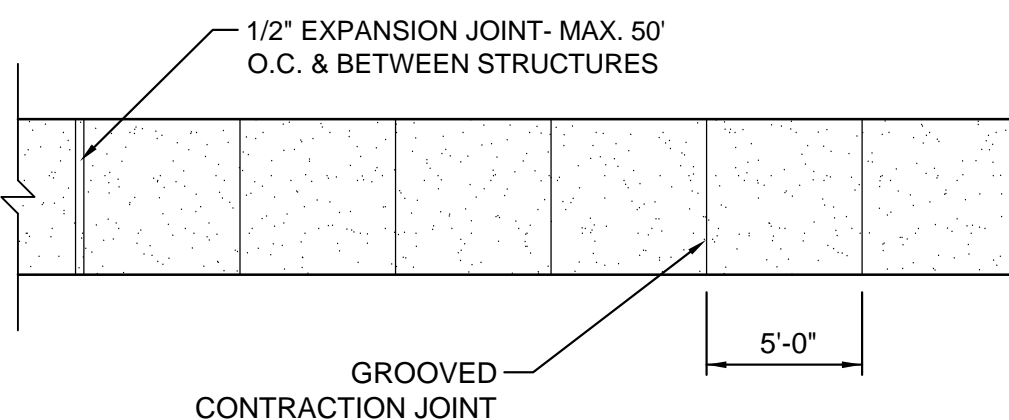
**EXPANSION JOINT**

**DUMMY GROOVE CONTRACTION JOINT**

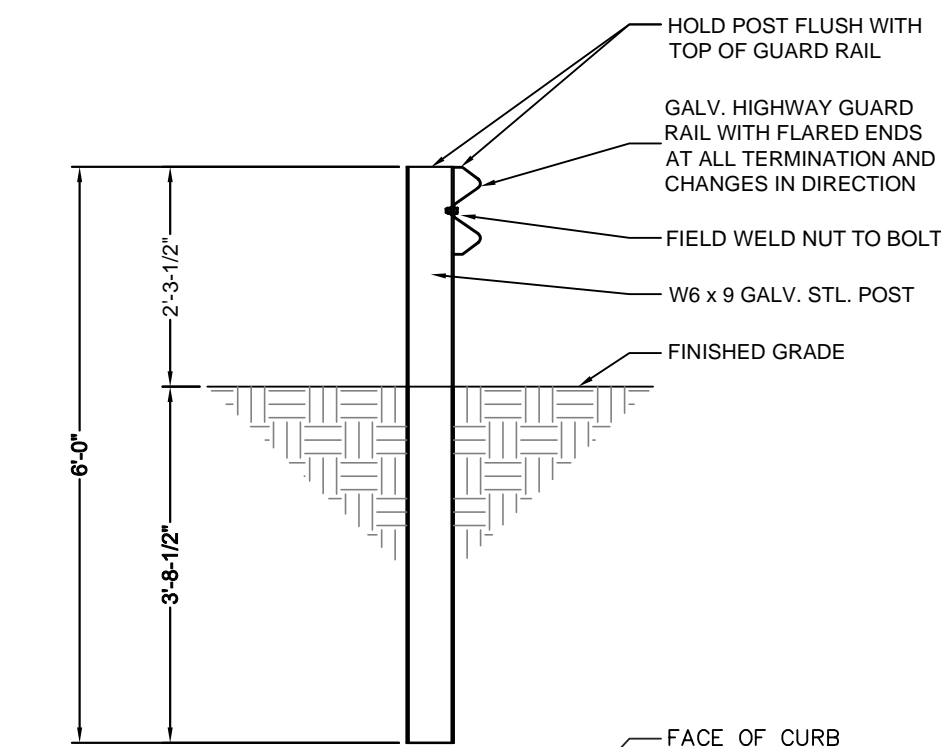


**SECTION VIEW**

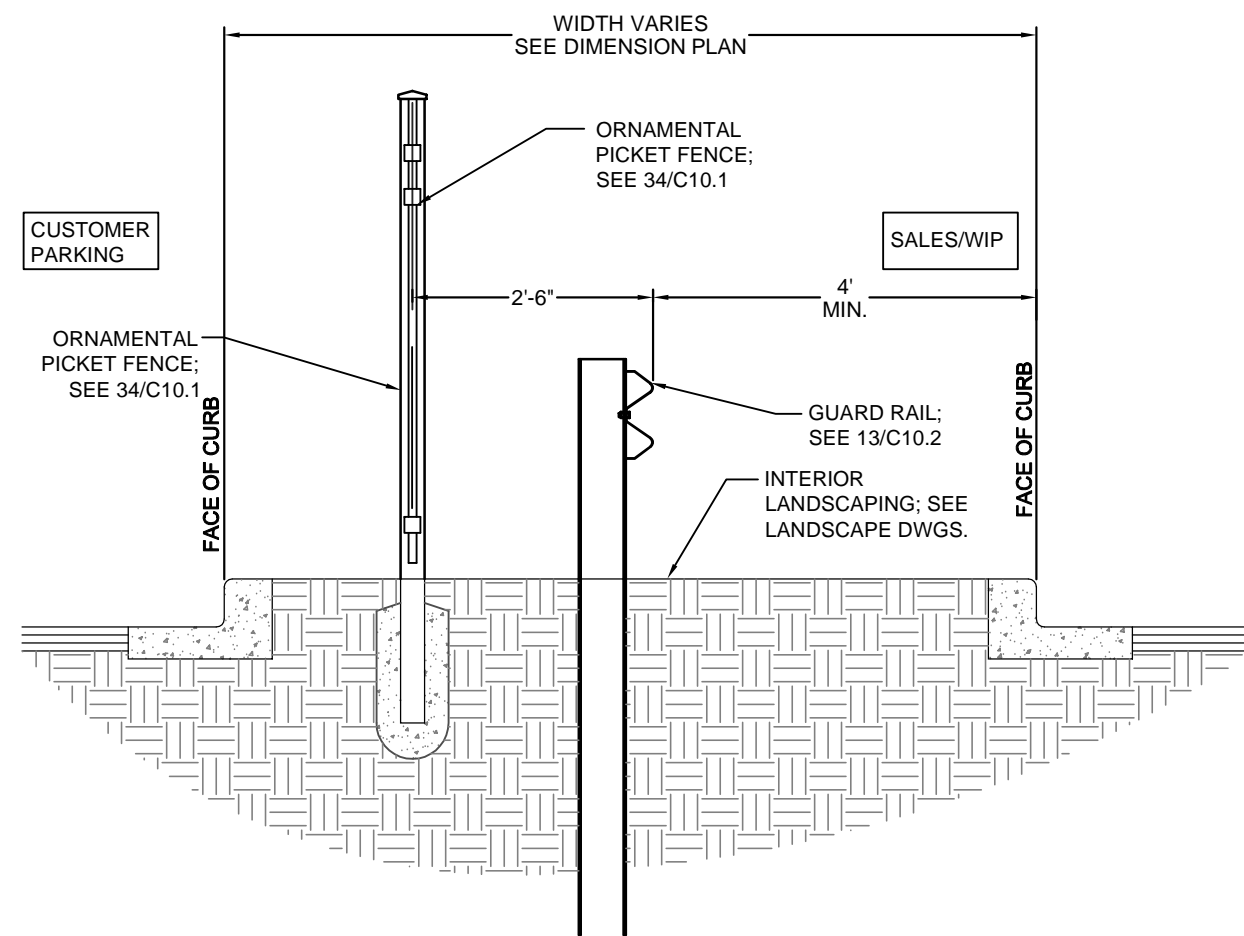
**ASPHALT PAVEMENT**



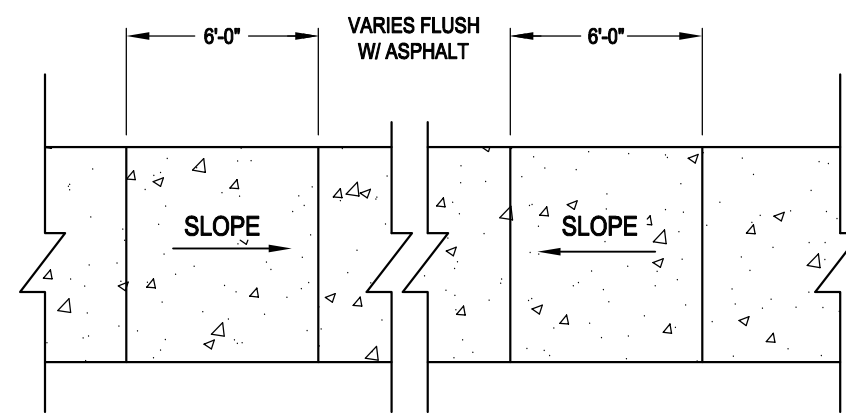
**PLAN VIEW**  
**CONCRETE WALK DETAIL**  
NOT TO SCALE



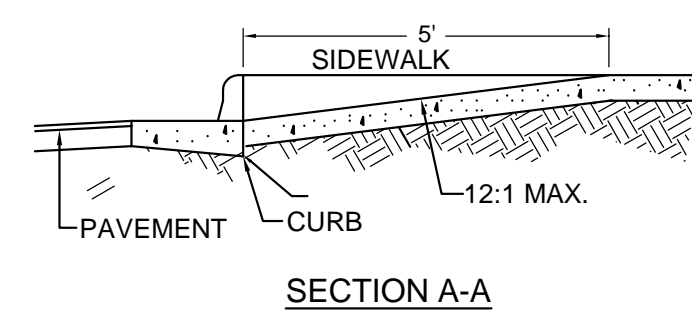
**GUARD RAIL**  
N.T.S.



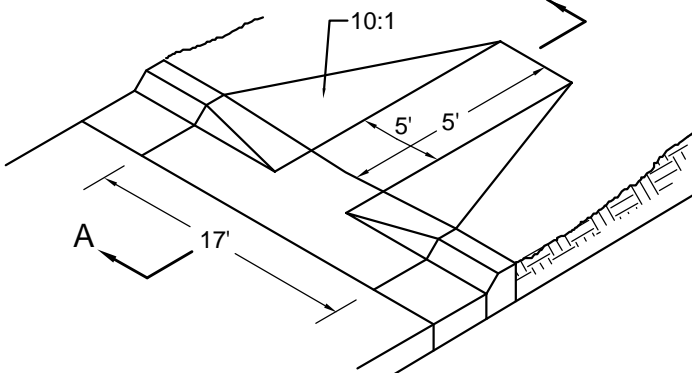
**FENCE/GUARD RAIL SECTION**  
N.T.S.



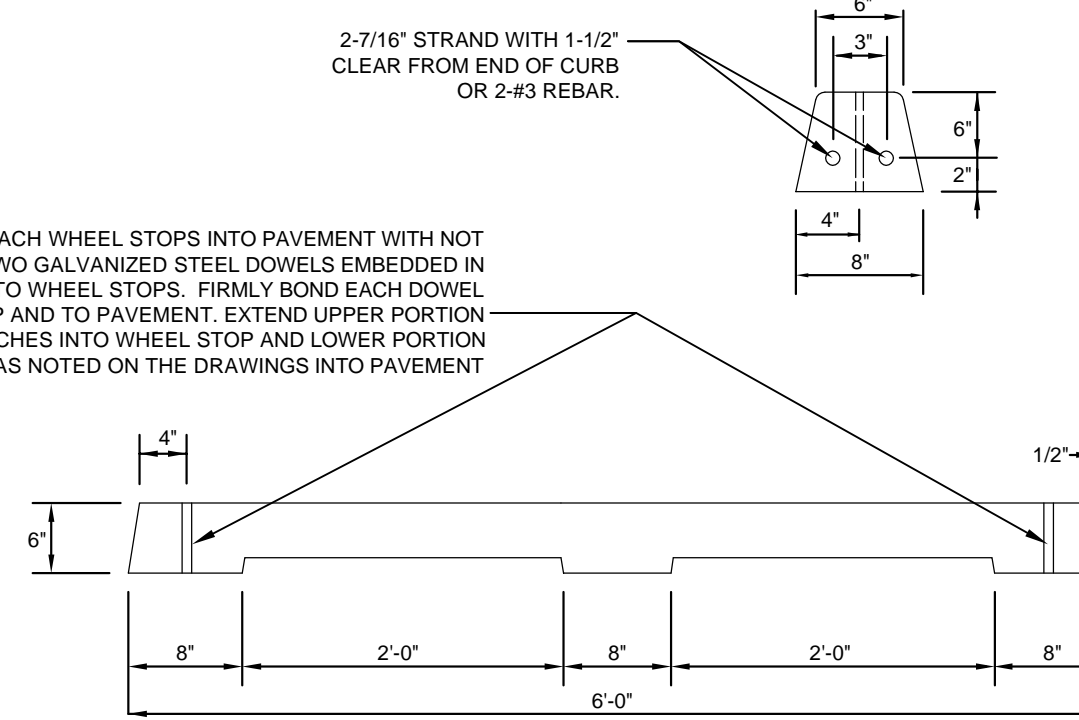
**HANDICAP RAMP**  
NOT TO SCALE



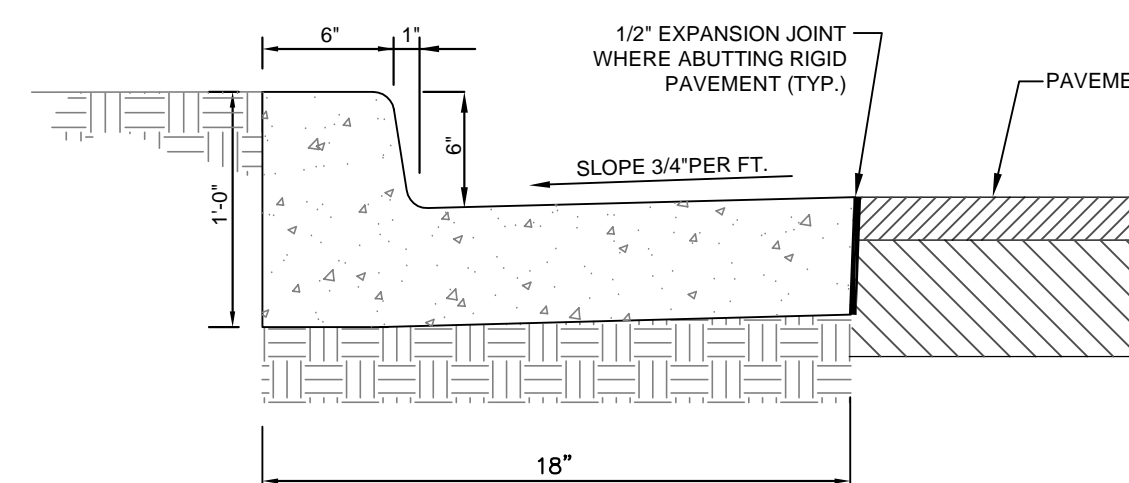
**SECTION A-A**



**WHEEL CHAIR RAMP (DROP CURB)**  
NOT TO SCALE



**STANDARD WHEEL STOP**  
N.T.S.



**STANDARD CONCRETE CURB & GUTTER**  
N.T.S.

**NOTES:**  
1. FOR SPILL CURB, SLOPE 3/4" PER FOOT AWAY FROM THE FACE OF CURB.  
2. CONCRETE TO HAVE A MIN. 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI.  
3. USE CURB SPECIFIED BY LOCAL GOVERNING AUTHORITY IN PUBLIC R/W.

STATE OF NORTH CAROLINA  
DEPT. OF TRANSPORTATION  
DIVISION OF HIGHWAYS  
HALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR  
**CURB RAMPS**  
NOTES  
SHEET 3 OF 3  
**848.05**

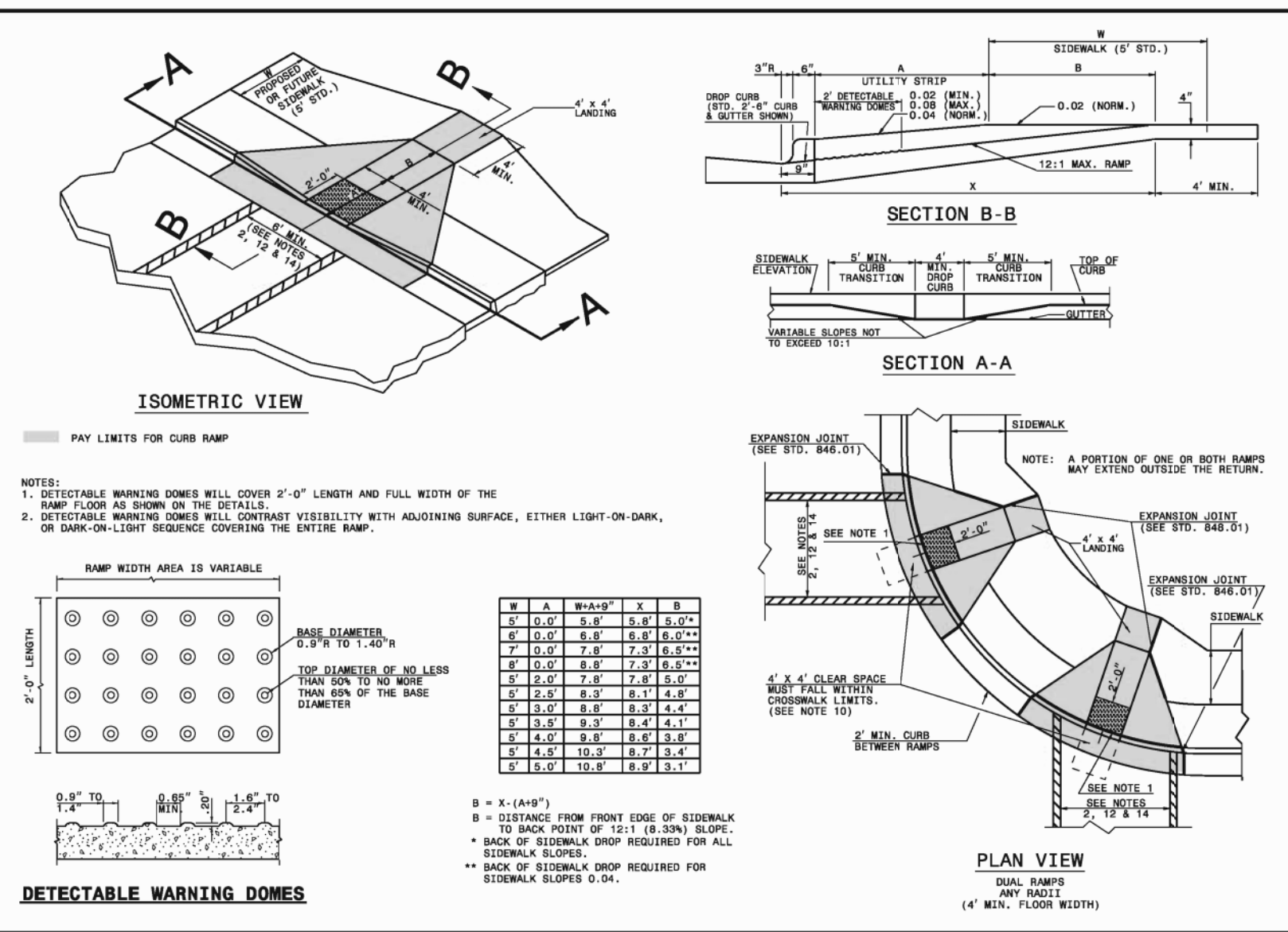
- NOTES:**
- CONSTRUCT THE RAMP SURFACE TO BE STABLE, FIRM, AND SLIP RESISTANT. CONSTRUCT THE CURB RAMP TYPE AS SHOWN IN THE PAVEMENT MARKING PLANS OR AS DIRECTED BY THE ENGINEER.
  - LOCATE CURB RAMPS AND PLACE PEDESTRIAN CROSSWALK MARKINGS AS SHOWN IN THE PAVEMENT MARKING PLANS. WHEN FIELD ADJUSTMENTS REQUIRE MOVING CURB RAMPS OR MARKINGS AS SHOWN, CONTACT THE SIGNING AND DELINEATION UNIT OR LOCATE AS DIRECTED BY THE ENGINEER.
  - COORDINATE THE CURB RAMP AND THE PEDESTRIAN CROSSWALK MARKINGS SO A 4'x4' CLEAR SPACE AT THE BASE OF THE CURB RAMP WILL FALL WITHIN THE PEDESTRIAN CROSSWALK LINES.
  - SET BACK DISTANCE FROM INSIDE CROSSWALK MARKING TO NEAREST EDGE OF TRAVEL LANE IS 4' MINIMUM.
  - REFER TO THE PAVEMENT MARKING PLANS FOR STOP BAR LOCATIONS AT SIGNALIZED INTERSECTIONS. IF A PAVEMENT MARKING PLAN IS NOT PROVIDED, CONTACT THE SIGNAL DESIGN SECTION FOR THE STOP BAR LOCATIONS OR LOCATE AS DIRECTED BY THE ENGINEER.
  - TERMINATE PARKING A MINIMUM OF 20' BACK OF A PEDESTRIAN CROSSWALK.
  - CONSTRUCT CURB RAMPS A MINIMUM OF 4' WIDE.
  - CONSTRUCT THE RUNNING SLOPE OF THE RAMP 8.33% MAXIMUM.
  - ALLOWABLE CROSS SLOPE ON SIDEWALKS AND CURB RAMPS WILL BE 2% MAXIMUM.
  - CONSTRUCT THE SIDE FLARE SLOPE A MAXIMUM OF 10% MEASURED ALONG THE CURB LINE.
  - CONSTRUCT THE COUNTER SLOPE OF THE GUTTER OR STREET AT THE BASE OF THE CURB RAMP A MAXIMUM OF 5% AND MAINTAIN A SMOOTH TRANSITION.
  - CONSTRUCT LANDINGS FOR SIDEWALK A MINIMUM OF 4'x4' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION. CONSTRUCT LANDINGS FOR MEDIAN ISLANDS A MINIMUM OF 5'x5' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
  - TO USE A MEDIAN ISLAND AS A PEDESTRIAN REFUGE AREA, MEDIAN ISLANDS WILL BE A MINIMUM OF 6' WIDE. CONSTRUCT MEDIAN ISLANDS TO PROVIDE PASSAGE OVER OR THROUGH THE ISLAND.
  - SMALL CHANNELIZATION ISLANDS THAT CAN NOT PROVIDE A 5'x5' LANDING AT THE TOP OF A RAMPS, WILL BE CUT THROUGH LEVEL WITH THE SURFACE STREET.
  - CURB RAMPS WITH RETURNED CURBS MAY BE USED ONLY WHERE PEDESTRIANS WOULD NOT NORMALLY WALK ACROSS THE RAMP. THE ADJACENT SURFACE IS PLANTING OR OTHER NON-WALKING SURFACE OR THE SIDE APPROACH IS SUBSTANTIALLY OBSTRUCTED.
  - PLACE A 1/2" EXPANSION JOINT WHERE THE CONCRETE CURB RAMP JOINS THE CURB AS SHOWN IN ROADWAY STANDARD DRAWING 848.01
  - PLACE ALL PEDESTRIAN PUSH BUTTON ACTUATORS AND CROSSING SIGNALS AS SHOWN IN THE PLANS OR AS SHOWN IN THE MUTCD.
  - CURB RAMPS THROUGH MEDIAN ISLANDS, SINGLE RAMPS AT DUAL CROSSWALKS OR LIMITED R/W SITUATIONS, WILL BE HANDLED BY SPECIAL DETAILS. CONTACT THE CONTRACT STANDARDS AND DEVELOPMENT UNIT FOR THE DETAILS OR FOR A SPECIAL DESIGN.

STATE OF NORTH CAROLINA  
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HALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR  
**CURB RAMPS**  
NOTES  
SHEET 3 OF 3  
**848.05**

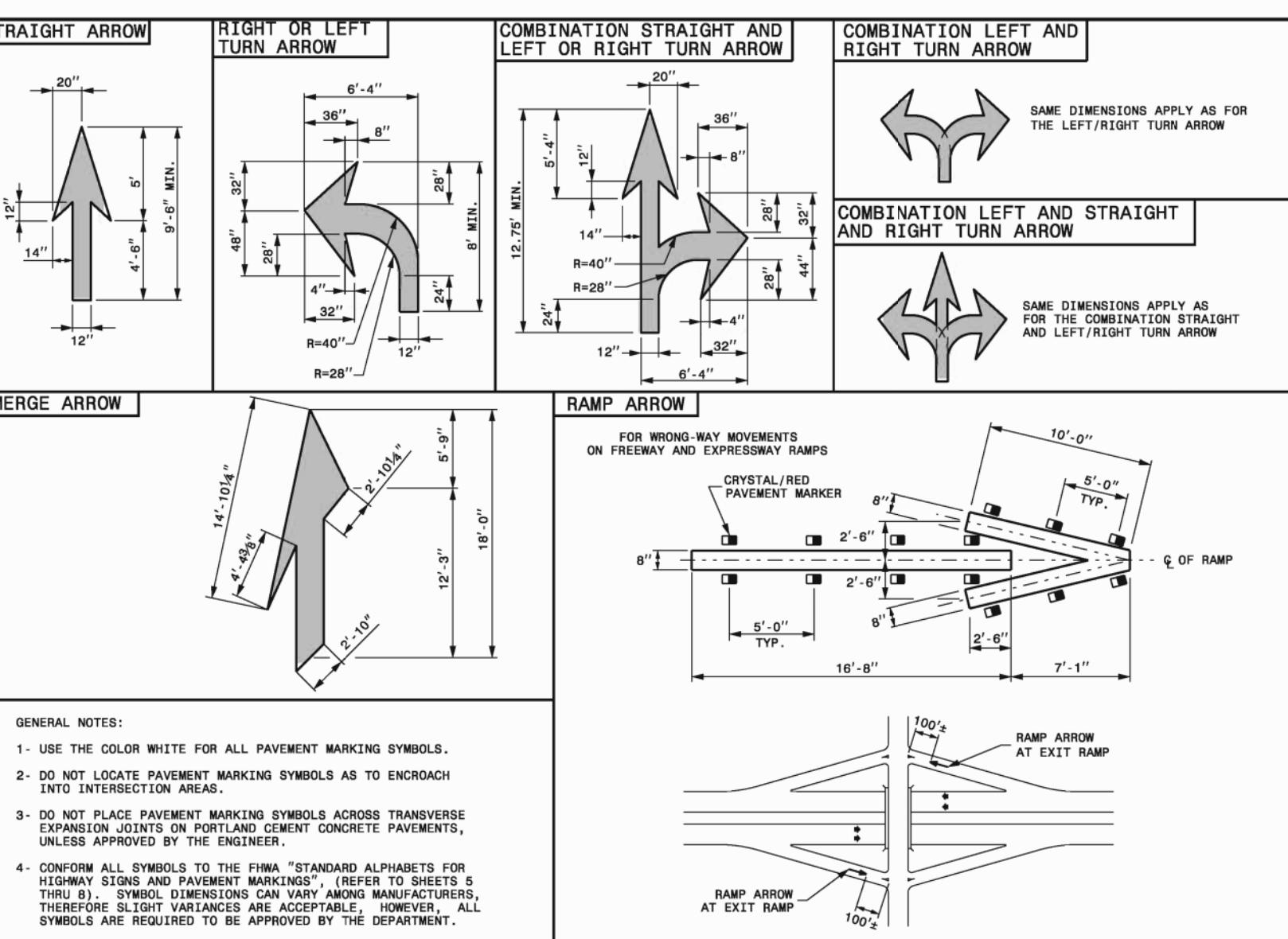
STATE OF NORTH CAROLINA  
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ENGLISH STANDARD DRAWING FOR  
**CURB RAMP AND GUTTER**  
PROPOSED CURB AND GUTTER  
SHEET 1 OF 3  
**848.05**



STATE OF NORTH CAROLINA  
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STATE OF NORTH CAROLINA  
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ENGLISH STANDARD DRAWING FOR  
**PAVEMENT MARKINGS**  
SYMBOLS AND WORD MESSAGES  
SHEET 1 OF 8  
**1205.08**

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:

CLIENT INFORMATION:  
**CARMAX AUTO SUPERSTORE, INC.**  
12800 TUCKAHOE CREEK PARKWAY  
RICHMOND, VA 23238

**PARAMOUNT ENGINEERING**  
122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6700 (F)  
NC License #: C-2846

PROJECT STATUS:  
CONCEPT/LAYOUT:  
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DETAILS  
**WILMINGTON CARMAX**  
CITY OF WILMINGTON  
NEW HANOVER COUNTY, NORTH CAROLINA

DRAWING INFORMATION  
DATE: 11/10/16  
DRAWN: RPB  
DESIGNED: RPB  
CHECKED: RPB

SEAL  
**C-6.0**  
PEI JOB#: 15253.PE